

STATE OF ARIZONA

Joint Committee on Capital Review

STATE
SENATE

RUSSELL K. PEARCE
CHAIRMAN 2009
PAULA ABOUD
AMANDA AGUIRRE
SYLVIA ALLEN
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CHUCK GRAY
AL MELVIN

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HOUSE OF
REPRESENTATIVES

JOHN KAVANAGH
CHAIRMAN 2010
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NANCY MCLAIN
DAVID SCHAPIRA
KYRSTEN SINEMA

**** REVISED ****

JOINT COMMITTEE ON CAPITAL REVIEW

Tuesday, June 16, 2009

8:00 A.M.

Senate Appropriations, Room 109

MEETING NOTICE

- Call to Order
- [Approval of Minutes of February 24, 2009.](#)
- DIRECTOR'S REPORT (if necessary).
- 1. [ARIZONA GAME AND FISH - Review of Capital Improvement Projects.](#)
- 2. ARIZONA DEPARTMENT OF ADMINISTRATION
 - [A. Consider Recommending FY 2010 Quarterly Rent Payments for the Arizona Board of Osteopathic Examiners.](#)
 - [B. Review of the Department of Health Service's Arizona State Hospital Forensic Unit Project.](#)
 - [C. Report on FY 2009 Building Renewal Projects.](#)

The Chairman reserves the right to set the order of the agenda.

~~6/9/09~~

6/12/09

sls

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**MINUTES OF THE MEETING
JOINT COMMITTEE ON CAPITAL REVIEW**

Tuesday, February 24, 2009

The Chairman called the meeting to order at 8:10 a.m., Tuesday, February 24, 2009 in Senate Appropriations Room 109. The following were present:

Members:	Senator Pearce, Chairman	Representative Kavanagh, Vice-Chairman
	Senator Aboud	Representative Crandall
	Senator Aguirre	Representative Lujan
	Senator Sylvia Allen	Representative McComish
	Senator Garcia	Representative McLain
	Senator Chuck Gray	Representative Sinema
	Senator Melvin	
Absent:		Representative Schapira

APPROVAL OF MINUTES

Hearing no objections from the members of the Committee, Chairman Russell Pearce stated the minutes of November 13, 2008 would stand approved.

ADOPTION OF COMMITTEE RULES AND REGULATIONS

Ms. Leatta McLaughlin, JLBC Staff, stated that this item is for the adoption of the Committee's rules and regulations. Every 2 years, the Committee adopts its rules. These rules are the same rules the Committee used the prior 2 years. There are no changes in the rules.

Senator Pearce moved that the rules and regulations as presented by the JLBC Staff be adopted. The motion carried.

ARIZONA STATE UNIVERSITY, UNIVERSITY OF ARIZONA, AND NORTHERN ARIZONA UNIVERSITY – Review of \$103.1 Million in University Lottery Bond Projects - Building Renewal

Ms. Leah Kritzer, JLBC Staff, stated that at the last JCCR meeting in November, the Committee favorably reviewed \$64.6 million in fire, life, and safety building renewal projects. Now up for review is the remaining \$103.1 million in building renewal projects. The estimated annual debt service for the \$167.7 million is approximately \$14 million, of which \$11.2 million will come from state lottery proceeds and \$2.8 million from local university funds.

(Continued)

The Committee has at least the following 2 options for all 3 universities: 1) a favorable review with the standard university financing provisions shown below, or 2) an unfavorable review.

Representative Kavanagh moved that the Committee give a favorable review to all 3 university lottery bond projects totaling \$103.1 million with the standard university financing provisions. In addition, the universities are required to submit a final debt service schedule and a list of projects.

Standard University Financing Provisions

- *A favorable review by the Committee does not constitute endorsement of General Fund appropriations to offset any revenues that may be required for debt service, or any operations and maintenance costs when the project is complete.*
- *The university shall submit to JLBC Staff any reallocation above \$500,000 between the individual projects. The Committee may review these items depending on the substantive nature of the reallocation.*

The motion carried.

UNIVERSITY OF ARIZONA - Review of Residence Halls and Residence Life Building Renewal

Ms. Leah Kritzer, JLBC Staff, stated that the University of Arizona is proposing to spend \$159.3 million in system revenue bonds to construct 2 new residence halls and \$37.3 million in system revenue bonds for residence life building renewal projects. The Committee has at least the following 2 options: 1) a favorable review with the standard university financing provisions shown below, or 2) an unfavorable review.

Representative Kavanagh moved for a favorable review of \$159.3 million for University of Arizona residence halls and \$37.3 million for residence life building renewal projects with the standard university financing provisions.

Standard University Financing Provisions

- *UA shall report to the Committee before expenditure of any allocations that exceed the greater of \$500,000 or 10% of the reported contingency amount total for add-alternates that do not expand the scope of the project. UA shall also report to the Committee before any reallocation exceeding \$500,000 among the individual planned renovations, renewals, or extensions.*
- *UA shall submit for Committee review any allocations that exceed the greater of \$500,000 or 10% of the reported contingency amount total for add-alternates that expand the scope of the project. In case of an emergency, UA may immediately report on the scope and estimated cost of the emergency rather than submit the item for review. JLBC Staff will inform the university if they do not concur with the emergency nature of the change in scope.*
- *A favorable review by the Committee does not constitute endorsement of General Fund appropriations to offset any auxiliary revenues that may be required for debt service, or any operations and maintenance costs when the project is complete. Auxiliary funds derive from substantially self-supporting university activities, including student housing.*

- *UA shall not use bonding to finance any repairs whose typical life span is less than the bond repayment period. Such repairs include, but are not limited to new flooring and painting. The exceptions to this stipulation are circumstances where such repairs are required to complete a major renovation.*

The motion carried.

MARICOPA COUNTY COMMUNITY COLLEGE DISTRICT - Review of General Obligation Bond Issuance

Ms. Marge Zylla, JLBC Staff, stated that this item is a review of Maricopa County Community College District's (MCCCD) \$220 million general obligation bond issuance. In June 2004, the Committee favorably reviewed the entire \$951 million bond package and voters in November of 2004 approved the bonding which is paid for by property taxes. This issuance is the third of 5. The Committee has at least 2 options: 1) a favorable review with the provision that MCCCD return to the Committee before each bond issuance, or 2) an unfavorable review.

Debra Thompson, Vice Chancellor, Business Services, responded to member questions.

Arlen Solochek, District Director, Facilities Planning and Development, responded to member questions.

The Committee further clarified that MCCCD should seek Committee review before using any savings from a bond issuance for any project not previously reviewed by the Committee.

In addition, the Committee requested information on what MCCCD plans on doing with any potential savings after all 5 bonds are issued.

Representative Kavanagh moved for a favorable review of the \$220 million General Obligation Bond Projects for the Maricopa County Community College District with the provision that MCCCD report to the Committee on actual project costs of the third bond issuance when the district returns for review of its fourth issuance. The motion carried.

The Committee further clarified that MCCCD should seek Committee review before using any savings from a bond issuance for any project not previously reviewed by the Committee.

In addition, the Committee requested information on what MCCCD plans on doing with any potential savings after all 5 bonds are issued.

ARIZONA STATE LOTTERY COMMISSION - Review of FY 2009 Building Renewal Allocation Plan

Mr. Juan Beltran, JLBC Staff, stated that Laws 2008, Chapter 289 appropriated \$68,000 from the State Lottery Fund in FY 2009 to be used for major maintenance and building repair. The Lottery plans to use the \$68,000 and an additional \$3,700 from the FY 2008 contingency allocation on a new fire suppression system for the Phoenix facility.

Representative Kavanagh moved for a favorable review of the Arizona State Lottery Commission's FY 2009 Building Renewal Allocation Plan. The motion carried.

ARIZONA DEPARTMENT OF ADMINISTRATION - Consider Recommending Partial Rent Exemption for the Department of Revenue

Mr. Beltran stated that the Department of Revenue (DOR), through the Department of Administration (ADOA), has requested a partial rent exemption of \$7,900 for the second half of FY 2009. DOR rents approximately 11,000 square feet of space of the 402 W. Congress Building in Tucson. However, effective January 1, 2009, DOR vacated 756 square feet of space at the request of the ADOA ISD. If recommended by the Committee, ISD will take over the rent payments.

Representative Kavanagh moved that the Committee recommend the proposed partial rent exemption of \$7,900 for the second half of FY 2009. The motion carried.

Without objection, the meeting adjourned at 8:50 a.m.

Respectfully submitted:

Sandy Schumacher, Secretary

Leatta McLaughlin, Principal Fiscal Analyst

Senator Russell Pearce, Chairman

STATE OF ARIZONA

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DATE: June 10, 2009

TO: Senator Russell Pearce, Chairman
Members, Joint Committee on Capital Review

THRU: Richard Stavneak, Director

FROM: Caitlin Acker, Assistant Fiscal Analyst

SUBJECT: Arizona Game and Fish Department – Review of Capital Improvement Projects

Request

Pursuant to A.R.S. § 41-1252, the Arizona Game and Fish Department (AGFD) requests Committee review of \$2,100,000 for capital improvement projects including \$800,000 for the Black Canyon Dam modification project, \$1,050,000 for the Flagstaff Regional Office remodeling project, and \$250,000 for the Mesa Regional Office paving project.

Recommendation

The JLBC Staff recommends that the Committee give a favorable review of the department's requests for the capital improvement projects. These monies are not available to help resolve the FY 2010 budget shortfall due to federal regulations that restrict their use.

Analysis

Black Canyon Dam Modifications

Laws 2005, Chapter 298 and Laws 2006, Chapter 345 appropriated a total \$800,000 in FY 2006 and FY 2007 from the Game and Fish Capital Improvement Fund to be used for modifications to the Black Canyon Dam. In addition, the plan includes \$450,000 in federal funding for a total project cost of \$1,250,000. A.R.S. § 41-1252 requires that the Committee review the scope, purpose and estimated cost before the release of monies for construction of a new capital project costing over \$250,000.

The Black Canyon Dam is owned and operated by AGFD for recreational uses. This dam has been classified as a high hazard dam due to the potential for property damage and loss of life in the event of a structural failure. The planned modifications to the dam will improve capacity in order to accommodate a flood.

(Continued)

Table 1 provides a breakout of planned expenditures for the project. The crest of the dam will be raised and the spillway will be demolished and reconstructed to handle increased water flow. The project is expected to go to bid in July 2009 with construction beginning in August 2009 and ending in July 2010.

Table 1	
Arizona Game and Fish Department Black Canyon Dam Modification Costs	
	<u>Planned Expenditures</u>
Spillway	\$ 791,200
Miscellaneous	121,200
Embankment Raise	107,600
Construction Management	81,600
Mobilization	30,600
Arizona Department of Water Resources Permit Fee	15,800
Contingency	<u>102,000</u>
Total	\$1,250,000 ^{1/}
^{1/} Includes \$450,000 in federal funding.	

Flagstaff Regional Office Remodel

Laws 2007, Chapter 257 appropriated \$1,050,000 in FY 2008 from the Game and Fish Capital Improvement Fund to remodel the Flagstaff Regional Office. In addition, the department plans to use \$214,000 in building renewal monies to complete the project. The building renewal portion of the project was already approved at the October 2, 2008 meeting. Table 2 provides a breakout of planned expenditures for the project. The department plans to begin the project in August 2009 and complete the project in March 2010.

New Construction

The current office is approximately 6,000 square feet in size. This expansion would add a total of 2,550 square feet, adding 1,800 square feet of additional office space and enlarging the conference room by 750 square feet. According to the agency, the added space is needed due to an increase in regional programs and personnel since the building was originally constructed in 1991.

The department estimates the cost per square foot for new construction at \$192, which includes a 10% project contingency rate. This cost appears reasonable because it is the same cost per square foot as the Yuma Regional Office remodeling project appropriated by Laws 2008, Chapter 289. In addition, the adjacent warehouse building will also be expanded from 3,750 square feet to 7,500 square feet. Total costs to expand the office and warehouse buildings are estimated by the department to be \$770,900.

Renovation of Existing Structure

The current office building will also be renovated during the expansion, replacing the existing carpet, painting the exterior and interior of the building, and replacing metal roofing tiles. Renovation costs for this project are anticipated to be \$90,700. This cost is similar to the renovation cost for the Yuma Regional Office appropriated by Laws 2008, Chapter 289.

Building System Upgrades

The capacity of the electrical and HVAC systems will be upgraded to accommodate the additional space. The cost of this portion of the project is estimated by the department to be \$39,000.

Infrastructure

The project will also require site re-grading and repaving of the parking lot, storm drain improvements, and new landscaping. Costs of these improvements are expected to be \$118,500.

(Continued)

Table 2	
Arizona Game and Fish Department Flagstaff Regional Office Renovation Costs	
	<u>Planned Expenditures</u>
<u>New Construction</u>	
Office Workspace/File Storage	\$ 345,600
Warehouse/Boat Storage	281,300
Conference Room	<u>144,000</u>
Subtotal	\$ 770,900
<u>Renovation of Existing Structure</u>	
Roofing	\$ 56,000
Carpet/Flooring	13,800
Interior Paint	12,700
Exterior Paint	<u>8,200</u>
Subtotal	\$ 90,700
<u>Building System Upgrades</u>	
HVAC	\$ 27,000
Electrical Service	<u>12,000</u>
Subtotal	\$ 39,000
<u>Infrastructure</u>	
Chip Seal, Re-grading, and Storm Drainage Improvement	\$ 110,000
Landscape	<u>8,500</u>
Subtotal	\$ 118,500
Contingency	\$ 244,900
Total	\$1,264,000 ^{1/}
^{1/} Includes \$214,000 of building renewal monies favorably reviewed at the October 2, 2008 meeting.	

Mesa Regional Office Paving Project

Laws 2008, Chapter 289 appropriated \$250,000 in FY 2009 from the Game and Fish Capital Improvement Fund for the Mesa Regional Office paving project. In addition, the department plans to use \$12,000 in building renewal contingency monies to complete the project. The building renewal portion of the project was already approved at the October 2, 2008 meeting. *Table 3* provides a breakout of the total anticipated project cost.

Table 3	
Arizona Game and Fish Department Mesa Regional Office Paving Costs	
	<u>Planned Expenditures</u>
Employee and Fleet Parking Area	\$222,000
Front Visitor's Parking Area	35,000
ADA Compliant Ramps	<u>5,000</u>
Total	\$262,000 ^{1/}
^{1/} Includes \$12,000 of building renewal contingency monies favorably reviewed at the October 2, 2008 meeting.	

The project involves paving the existing dirt employee and fleet parking area in order to bring it into compliance with local dust control ordinances. Additionally, the department will seal the cracks and place a slurry seal over the existing visitor's parking area to increase pavement life and improve

(Continued)

appearance. All parking areas will also be re-striped and 2 new ADA compliant ramps will be installed. AGFD plans to begin the project in August 2009 and complete it in September 2009.

RS/CA:sls



THE STATE OF ARIZONA
GAME AND FISH DEPARTMENT

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LARRY D. VOYLES
DEPUTY DIRECTORS
GARY R. HOVATTER
ROBERT D. BROSCHEID



March 17, 2009

Senator Russell K. Pearce, Chairman
Joint Committee on Capital Review
Arizona House of Representatives
Capitol Complex
1700 W. Washington
Phoenix, AZ 85007-2890



Re: Request for Placement on Joint Committee on Capital Review Agenda – April 2009

Dear Senator Pearce:

The Arizona Game & Fish Department requests placement on the April 2009 agenda of the Joint Committee on Capital Review to review the following capital improvement projects:

1. Appropriation No. 03039 (FY 06 and 07) – Black Canyon Dam Modifications
2. Appropriation No. 03042 (FY 08) – Robbins Butte Levee
3. Appropriation No. 03045 (FY 08) – Flagstaff Regional Office Remodel/Expansion
4. Appropriation No. 03049 (FY 09) – Mesa Regional Office Paving
5. Appropriation No. 07511 (FY05) – Tonto Creek Hatchery Improvements

The information for this review is attached.

Sincerely,

Fred J. Bloom, P.E.
Chief Engineer

FJB:fb

cc: President Robert Burns, Senate, Vice Chairman
Eileen Klein, Director, OSPB
Marcel Benberou, Assistant Director, OSPB
Richard Stavneak, Staff Director, JLBC
Leatta McLaughlin, JLBC
Caitlin Acker, JLBC
Tony Guiles, AGFD

Enc.

Black Canyon Dam Modifications

Black Canyon Lake Dam is one of 38 jurisdictional dams owned and operated by the Department, and was constructed in 1963. Over the last 4½ decades development of the downstream community of Heber has caused the dam's hazard classification to change from "significant" to "high" hazard. Hazard ratings are based on potential threat to life and property damage downstream in the event of dam failure concurrent with a specified storm event. Additionally, the watershed feeding the reservoir was almost entirely consumed by the Rodeo-Chediski forest fire, changing the character of the watershed and the associated runoff. The Arizona Department of Water Resources (ADWR) has regulatory oversight on jurisdictional dams and, as a result of these changes, has increased the design flood the dam must safely accommodate. Accordingly, the calculated runoff from the watershed will result in a flow rate almost three times greater than the existing dam is capable of handling. Consequently the dam has been classified by ADWR as a "high hazard, unsafe dam". In order to bring the structure back into compliance, the dam crest will be raised to provide adequate freeboard and the spillway will be demolished and reconstructed to handle increased flows. After a long effort by the Department to satisfy NEPA environmental compliance requirements, the USDA Forest Service has indicated construction may finally begin in summer, 2009.

Schedule:

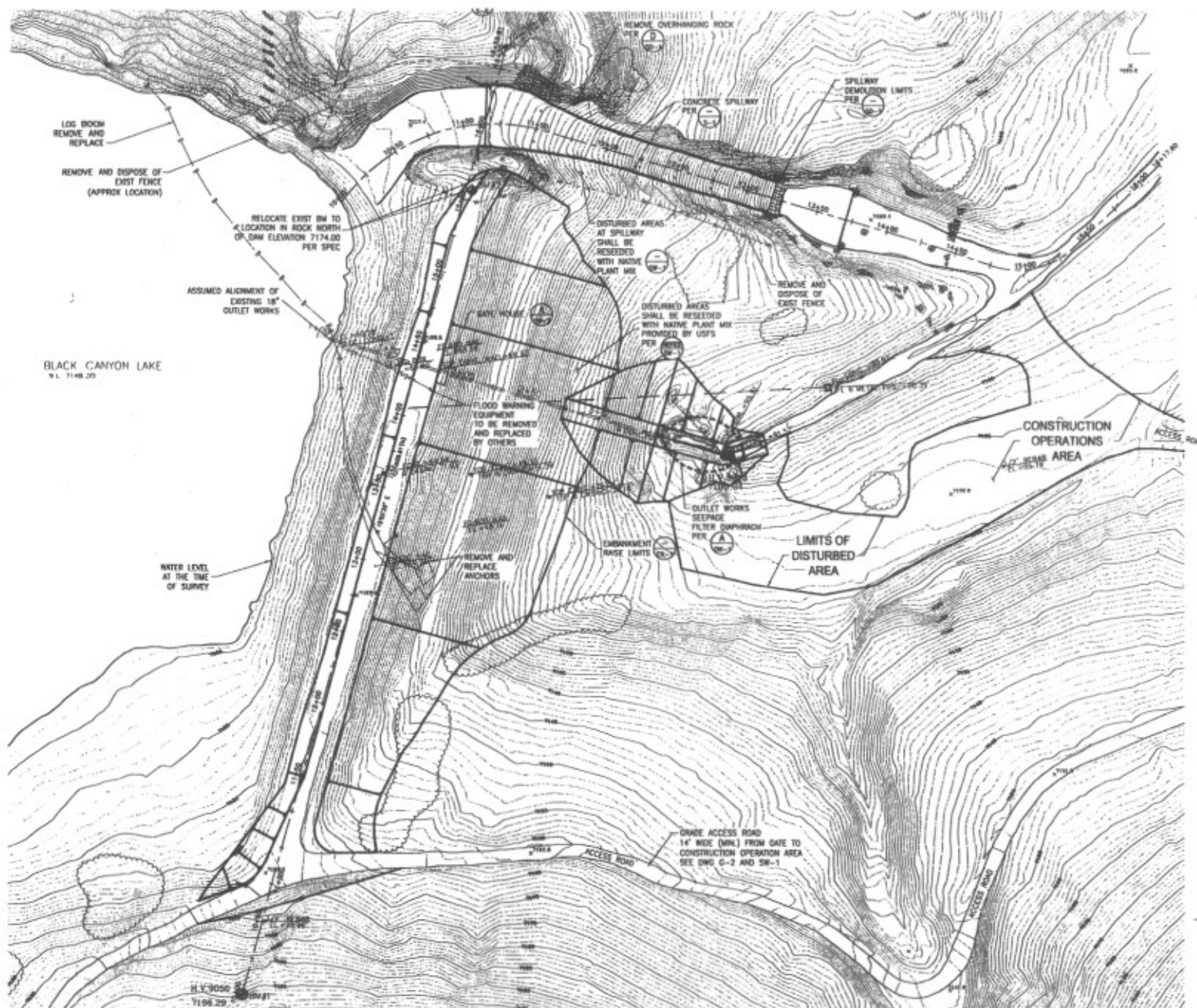
Bid Advertisement	May 2009
Bid Opening/Award	June 2009
Notice To Proceed	July 2009
Project completion	June 2010

Note: Construction Schedule assumes winter shutdown and potential fire season restrictions.

Estimated Construction Cost: \$1,250,000 (See Attachment)

Funding:

Capital Improvement Fund: \$800,000
Federal Funding: \$450,000



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4011 South 48th Street
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www.stantec.com

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provided for this project. The Designer is not responsible for the accuracy of the data
provided for this project.

ACWR Dam Safety Section

Appr: _____ Date: _____

File Name: 05-01-1-000.dwg

Printed: _____

**PRELIMINARY
NOT FOR
CONSTRUCTION**

Client/Project
**ARIZONA GAME AND
FISH DEPARTMENT
BLACK CANYON DAM AND
SPILLWAY ALTERATIONS**

DAM SITE PLAN

Project No. 182003344

Drawing No. _____

SP-1

5 of 27

Arizona Game and Fish Department
 Black Canyon Dam
 Heber, Arizona
 Stantec Consulting Proj. No. 182000344

Date: 02/05/08

By: srg/rjb

Date Checked:
 Date Revised: 03/02/09

By:
 By: jg

Opinion of Probable Constuction Cost

Item No.	Item Description	Unit	Engineer's Est. Quantity	Unit Price	Amount
Embankment Raise					
	PLACE AND COMPACT EMBANKMENT FILL ON DAM	CY	16,917	\$ 5.00	\$ 84,584.40
	CLEAR AND GRUB DAM EMBANKMENT	SY	5,800	\$ 0.25	\$ 1,450.00
	PLACE DUMPED RIPRAP ON UPSTREAM FACE, D50 = 18"	CY	673	\$ 32.00	\$ 21,537.92
Spillway					
	ROCK EXCAVATION	CY	178	\$ 50.00	\$ 8,900.00
	DEMOLITION AND REMOVAL OF EXISTING CONCRETE (SPILLWAY)	CY	200	\$ 250.00	\$ 50,000.00
	SPILLWAY WALL	LF	445	\$ 570.00	\$ 253,433.40
	SPILLWAY SLAB	LF	199	\$ 570.00	\$ 113,618.10
	GROUTED RIPRAP (SPILLWAY)	CY	1,018	\$ 330.00	\$ 335,976.30
	PLACE FILL ON ENERGY DISSIPATOR	CY	170	\$ 5.00	\$ 850.00
	SPILLWAY CHUTE SUBDRAIN SYSTEM	LS	1	\$ 21,200.00	\$ 21,200.00
	CLEAR AND GRUB BASIN AREA (SPILLWAY)	SY	1,000	\$ 0.25	\$ 250.00
	BARB WIRE FENCE TYPE 1	LF	210	\$ 25.00	\$ 5,250.00
	CHAIN LINK FENCE	LF	207		\$ -
	REMOVE & DISPOSE OF FENCE	LF	305	\$ 2.00	\$ 610.00
	TRAINING WALL	CY	2	\$ 570.00	\$ 1,140.00
Miscellaneous					
	BERM OVER FILTER DIAPHRAM	CY	1,168	\$ 5.00	\$ 5,840.00
	18" DUMPED RIPRAP PROTECTING FILTER DRAIN	CY	15	\$ 32.00	\$ 480.00
	GRADE AND CLEAR ACCESS ROAD TO 14' WIDE	AC	2.89	\$ 8,200.00	\$ 23,722.60
	CLEAR TREES ALONG EDGE OF ACCESS ROAD TO ALLOW GRADING	AC	0.83	\$ 3,267.00	\$ 2,700.00
reviewed	GATE HOUSE / VALVE OPERATOR	LS	1	\$ 8,000.00	\$ 8,000.00
	OUTLET WORKS SEEPAGE FILTER DIAPHRAGM	LS	1	\$ 10,000.00	\$ 10,000.00
	NPDES / SWPPP	LS	1	\$ 7,500.00	\$ 7,500.00
	LOG BOOM REMOVE AND REPLACE	LS	1	\$ 2,000.00	\$ 2,000.00
	REMOVE & REPLACE ANCHORS	EA	2	\$ 1,000.00	\$ 2,000.00
	RESEED DISTURBED AREAS	AC	3.45	\$ 4,400.00	\$ 15,180.00
	RELOCATE EXIST BM	EA	1		\$ -
	SURVEY CONTROL MONUMENT	EA	4		\$ -
	FURNISH AND INSTALL 18" REINFORCED CONCRETE PIPE (ASTM C76	LF	27	\$ 100.00	\$ 2,700.00
	6" ABC	SY	224	\$ 9.00	\$ 2,016.00
	CHUTE SLAB ANCHORS	EA	8		\$ -
	STAFF GAGE	LS	1		\$ -
reviewed	DEWATERING	LS	1	\$ 4,000.00	\$ 4,000.00
	IMPORTED FILL	CY	0		\$ -
	IMPORTED RIPRAP	CY	0		\$ -
	SHOTCRETE	SY	420	\$ 60.00	\$ 25,195.20
	REMOVE AND ABANDON 3" ACP	LS	1	\$ 10,000.00	\$ 10,000.00
Subtotal					\$ 1,020,133.92
General Requirements (percentage of subtotal)					
	CONTINGENCY	LS	10.00%		\$ 102,013.39
	MOBILIZATION	LS	3.00%		\$ 30,604.02
	CONSTRUCTION MANAGEMENT	LS	8.00%		\$ 81,610.71
	ADWR PERMIT FEE	LS	1.54%		\$ 15,759.36
Grand Total					\$ 1,250,121.40

Robbins Butte Wildlife Area Bank Stabilization

The Robbins Butte Wildlife Area Bank Stabilization project will protect approximately 500 feet of bank along an unnamed wash on the south side of the wildlife area headquarters complex, which includes the area manager's residence. Prior to Arizona Game and Fish becoming the owner of the property the wash was redirected to the west around the building complex area. During recent storm events the wash has started to erode the north bank, immediately adjacent to the headquarters. The Department is taking a proactive approach to stabilize the bank and reduce the threat of flooding at the headquarters site. The project will consist of removing a portion of the inferior north bank material (sandy loam) and replace it in three layers that will include two layers of graded rip rap over a granular filter. This will enable the bank to withstand larger storm events by preventing erosion due to scouring. In addition the top portion of the south bank will be removed thus allowing high flood events to spread out into the adjacent duck ponds reducing flow depth and overtopping potential on the north bank. Stream modifications are designed in accordance with the US Army Corp of Engineers Nationwide Permit No. 13 "Bank Stabilization". Material will be procured from local sources. All work will be performed by Arizona Game and Fish construction and heavy equipment crews.

Schedule:

Purchase Material	April 2009
Commence Work	May 2009
Project Completion	June 2009

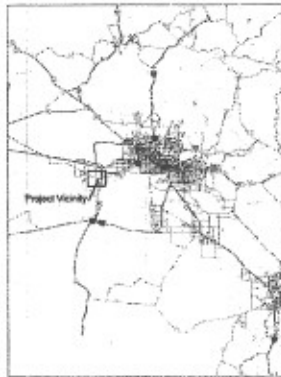
Estimated Construction Cost: \$115,000

• Design Consultant	\$ 9,000
• 2000 cu.yds. Rip Rap	\$50,000
• 390 cu.yds. Gravel Filter	\$ 6,000
• 3400 cu.yds. Earthwork	\$22,000
• 3100 cu.yds. Dike Removal	\$15,000
• Equipment Rental	<u>\$13,000</u>
	\$115,000
Contingency:	<u>\$ 11,500</u>
	\$126,500

Funding:

Capital Improvement Fund: \$126,500

CONSTRUCTION PLANS FOR ROBBINS BUTTE WILDLIFE AREA BANK PROTECTION BUCKEYE, ARIZONA



LOCATION MAP
N.T.S.

NOTES:

NO ATTEMPT HAS BEEN MADE TO LOCATE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO OBSTRUCTIONS AND UTILITY LINES ENCOUNTERED DURING CONSTRUCTION AND SHALL DETERMINE THE EXACT LOCATION OF ALL THE EXISTING UTILITIES PRIOR TO CONSTRUCTION.

CLEARING AND GRUBBING IS ASSUMED TO BE INCIDENTAL TO THE COST OF EXCAVATION

US ARMY CORPS OF ENGINEERS NATIONWIDE PERMIT 13: BANK STABILIZATION SHALL BE ADHERED TO AND DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION.

CONSTRUCTION SHALL MEET STANDARDS IN MARICOPA ASSOCIATION OF GOVERNMENTS 2009 UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

RIPRAP STONE AND GRAVEL FILTER MATERIALS SHALL BE OF THE GRADATIONS SHOW ON THIS SHEET

ELEVATIONS ARE REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29).

HORIZONTAL COORDINATES ARE REFERENCED TO NAD83 (FT), STATE PLANE, ARIZONA CENTRAL.

Quantity Estimate	
Item	Quantity (cy)
D50-12" Riprap	570
D50-8" Riprap	1300
Type I Gravel Filter	195
Type II Gravel Filter	195
Excavation	4320
Over-Excavation	3100

Riprap Gradation, D50 = 12"	
Size	Percent
4.75	100
10	100
15	85
20	50
25	15

Type I Gravel Filter	
Size	Percent
4.75	100
10	100
15	85
20	50
25	15

Type II Gravel Filter	
Size	Percent
4.75	100
10	100
15	85
20	50
25	15



VICINITY MAP
N.T.S.

ARIZONA GAME & FISH DEPARTMENT

BANK PROTECTION

ROBBINS BUTTE WILDLIFE AREA

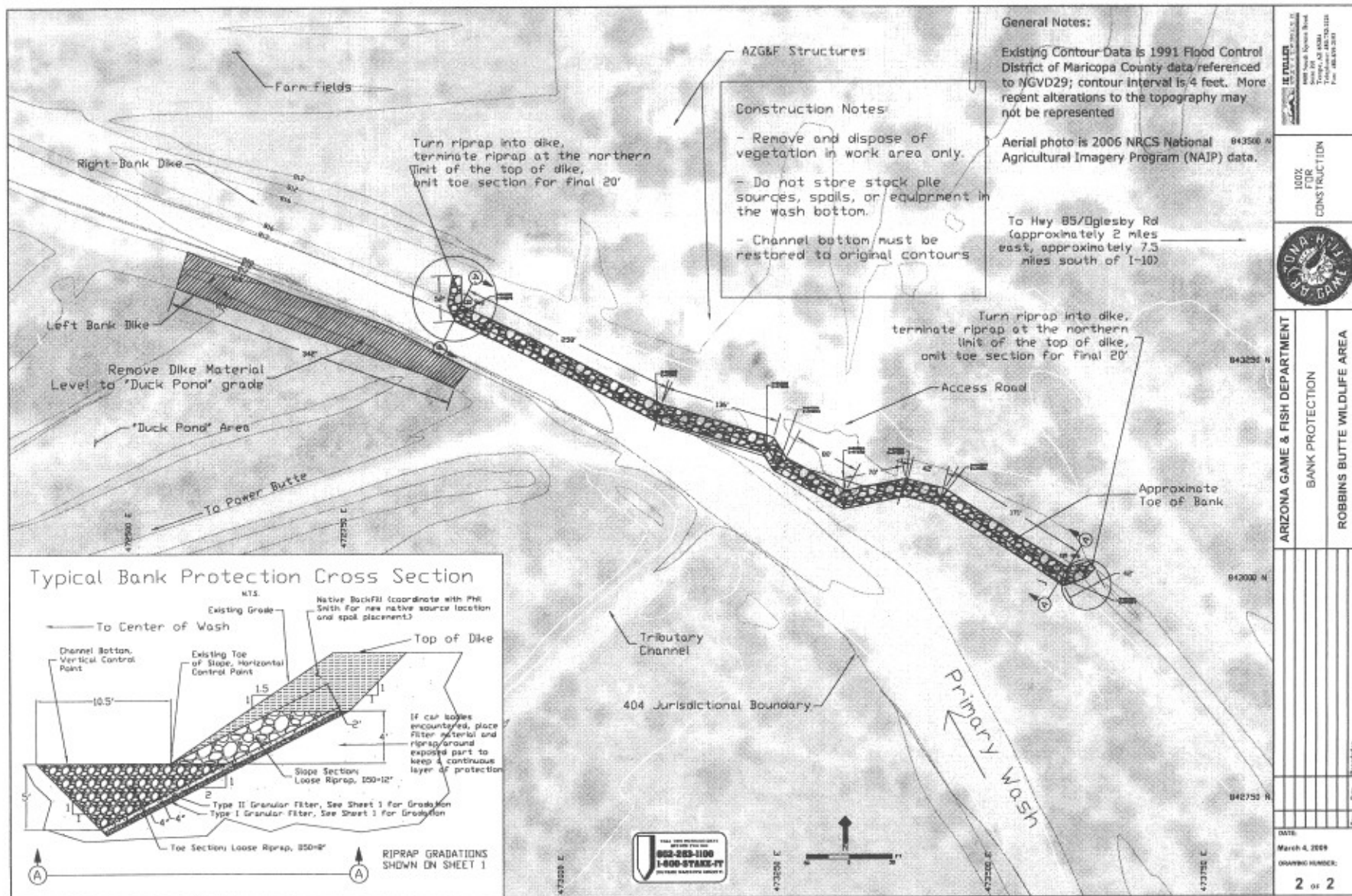
100% FOR CONSTRUCTION

DATE:

March 4, 2009

DRAWING NUMBER:

1 of 2



Flagstaff Regional Office Addition and Remodel

The Flagstaff Regional Office addition and remodel includes an addition of 2,450 square feet expanding the main conference room by 880 square feet (used frequently for public meetings) and adding 1570 square feet of desperately needed office space. The existing 5,150 square foot office/customer service area will be remodeled to correct several ADA compliance issues identified in a recent federal accessibility survey. Other improvements will include re-roofing the entire structure to correct problematic leaks, replacing the HVAC system with substantially more energy efficient equipment, installing a fire sprinkler system though out the entire building, installing a security access control system that is compatible with the Departments statewide system, installing new flooring throughout and paint all interior surfaces. Site work will include parking lot improvements to better accommodate snow removal, as well as increase pavement life with a crack and slurry seal. Site parking lot lighting will be an add-alternate to the base bid.

Schedule:

Advertise the project	April 2009
Bid Opening/Award Project	May 2009
Notice To Proceed	June 2009
Project Completion	November/December 2009

Estimated Construction Cost: \$1,200,000. (See Attachment)

Funding:

Capital Improvement Fund - \$1,050,000
Building Renewal - \$150,000

OWNER'S ESTIMATED BUDGET

Based on 12.31.05 Regional Office Expansion/Remodel
Analysis for Regions 2, 3, and 4

ADDITIONAL SPACE

OFFICE WORKSPACE / FILE STORAGE	1,800 SF (\$160 / SF)	\$345,000
CONFERENCE ROOM	750 SF (\$160 / SF)	\$144,000
WAREHOUSE / BOAT STORAGE	3,700 SF (\$75 / SF)	\$281,250

RENOVATION OF EXISTING STRUCTURE

CARPET / FLOORING - 75 X 6000 SF = 500 YARDS X \$27.50/YRD	\$13,750
PAINT (INTERIOR) - .90 X 6000 SF = 5400 SF (CEILING)	
= 9 X 1.6 X 6000 = 8640 SF (WALLS) = 14040 SF X \$.90 / SF	\$12,700
PAINT (EXTERIOR) - 1.6 X 6000 = 8640 SF X \$.65	\$6,200
ROOFING - 11200 SF X \$.50 / SF (METAL TILE TYPE)	\$56,000

MODIFICATIONS TO EXISTING WORKSPACE

CONTINGENCY - 500 SF (\$90 / SF)	\$45,000
----------------------------------	----------

BUILDING SYSTEMS UPGRADES (BASED ON BULD OUT)

HVAC - 8900 SF / 500 = 18 TONS HVAC CAPACITY REQUIRED (EQUIPMENT ONLY) \$1500 / TON X 18 TONS	\$27,000
PLUMBING - NONE ANTICIPATED	
ELECTRICAL SERVICE - 600 AMP SERVICE UPGRADE	\$12,000

INFRASTRUCTURE

CHIP SEAL, RE-GRADING, AND STORM DRAINAGE IMPROVEMENT	\$110,040
LANDSCAPE - 850 SF	\$9,500

ADDITIONAL FUNDS (FRED BLOOM)	\$200,000
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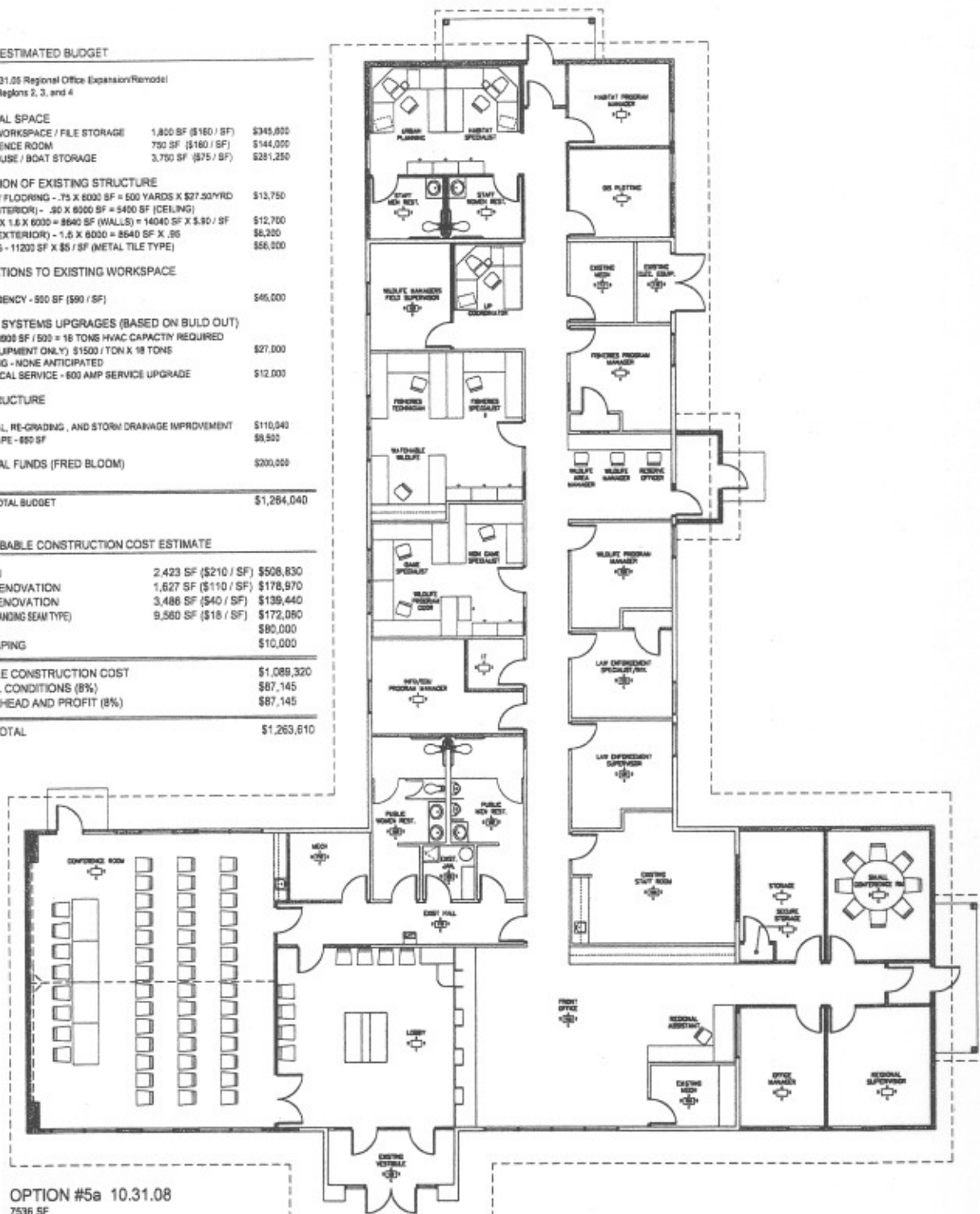
OWNER'S TOTAL BUDGET	\$1,284,040
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DWL PROBABLE CONSTRUCTION COST ESTIMATE

ADDITION	2,423 SF (\$210 / SF)	\$508,830
MAJOR RENOVATION	1,627 SF (\$110 / SF)	\$178,970
MINOR RENOVATION	3,486 SF (\$40 / SF)	\$139,440
ROOF (STANDING SEAM TYPE)	9,560 SF (\$18 / SF)	\$172,080
CIVIL		\$80,000
LANDSCAPING		\$10,000

PROBABLE CONSTRUCTION COST	\$1,089,320
GENERAL CONDITIONS (8%)	\$87,145
GC OVER-HEAD AND PROFIT (8%)	\$87,145

GRAND TOTAL	\$1,263,610
-------------	-------------



AZGF - FLAGSTAFF REGIONAL OFFICES RENOVATION

Mesa Regional Office Parking Lot Improvements

The Mesa Regional Office parking lot improvement project includes paving the existing dirt employee/fleet parking area (currently in noncompliance with fugitive dust requirements) and provides new ADA accessible ramps in both the employee and visitor parking lots. Additionally, crack sealing the existing visitor's parking area will reduce the water that is penetrating the existing asphalt and causing failure. The area that the asphalt has pushed up against the existing concrete will be milled down and a slurry seal will be placed over the entire area to increase pavement life and improve appearance. All parking areas will be re-striped. The project will also provide two new ADA compliant ramps for the rear parking area to the administration building.

Schedule:

Advertise Project	April 2009
Bid Opening/Award	May 2009
Notice To Proceed	June 2009
Project completion	July/August 2009

Estimated Construction Cost: \$262,000

• Front visitor's parking area	\$ 35,000 (Crack and Slurry Seal 3700 sq.yds.)
• Employee/fleet parking area	\$222,000 (3" Asphalt on 4" ABC, 6400 sq.yds.)
• ADA compliant ramps	<u>\$ 5,000</u> (2 ea. concrete, w/tactile block)
	\$262,000

Funding:

Capital Improvement Fund - \$250,000
Building Renewal - \$12,000

ARIZONA GAME & FISH DEPARTMENT



REGION 6 (MESA) OFFICE

7200 E. UNIVERSITY DRIVE

MESA, AZ 85207

PARKING LOT IMPROVEMENTS



VICINITY MAP

SHEET INDEX

- 1 COVER SHEET
- 2 GENERAL NOTES & DETAILS
- 3 REAR LOT
- 4 FRONT LOT

ARIZONA GAME AND FISH DEPARTMENT DEVELOPMENT BRANCH	
	REGION 6 (MESA) PARKING LOT IMPROVEMENTS
COVER SHEET	
ENGINEER: T. KMETZ APPROVED: F. BLOOM 1-800 STAKE-IT	SHEET 1 OF 4

GENERAL NOTES

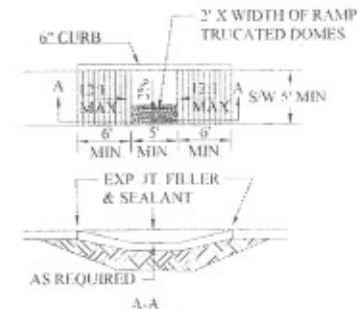
1. ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS FURNISHED BY THE ARIZONA GAME AND FISH ASSOCIATION OF GOVERNMENTS AND AS AMENDED BY ARIZONA GAME AND FISH. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE AMENDED SPECIFICATIONS AND DETAILS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL EXISTING UTILITIES AND AVOIDING DAMAGE TO SAME. CALL 402-283-1100 OR 1-800-STAKE-IT (1-800-782-5348) FOR BLUE STAKE SERVICES AND CALL POWER COMPANY FOR POLE BRACING, ELECTRIC SERVICE OR CONSTRUCTION SCHEDULING. WHEN EXCAVATING IN OR ADJACENT TO ARIZONA GAME AND FISH PROPERTY, THE CONTRACTOR SHALL CONTACT AZGFD REPRESENTATIVE TO REQUEST ASSISTANCE IN LOCATING AZGFD OWNED UNDERGROUND FACILITIES.
3. CONTRACTOR TO OBTAIN ANY PERMITS REQUIRED UNLESS OTHERWISE INDICATED, AND COORDINATE ALL IRRIGATION DRY-UPS, RELOCATIONS, AND REMOVALS BY OTHERS.
4. CONTRACTOR SHALL POTHOLE EXISTING UTILITIES AHEAD OF CONSTRUCTION TO ALLOW FOR ANY NECESSARY ADJUSTMENTS IN GRADELINE AND TO VERIFY PIPE MATERIALS FOR ORDERING THE APPROPRIATE TRANSITION AND TE-IN FITTINGS THAT MAY BE REQUIRED. THE CONTRACTOR IS RESPONSIBLE TO REMOVE AND PROPERLY DISPOSE OF ALL ABANDONED UTILITIES THAT INTERFERE WITH THIS PROJECT.
5. THE CONTRACTOR SHALL COORDINATE WORK SCHEDULES TO PREVENT ANY CONFLICTING WORK CONDITIONS WITH THE ARIZONA GAME AND FISH CREWS.
6. THE CONTRACTOR IS ADVISED THAT A DUST CONTROL PERMIT AND DUST CONTROL PLAN MAY BE REQUIRED BY THE COUNTY AIR QUALITY DEPARTMENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THIS PERMIT, IF NECESSARY, AND COMPLY WITH ITS REQUIREMENTS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE A COPY OF THE DUST CONTROL PERMIT AND DUST CONTROL PLAN TO AZGFD.
7. INSPECTIONS SHALL BE PROVIDED BY AZGFD DEVELOPMENT BRANCH. THE CONTRACTOR SHALL NOTIFY AZGFD REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE OF ANY CONSTRUCTION OR REQUEST INSPECTION PRIOR TO COMMENCING WORK.
8. THE JOB SITE SHALL BE CLEANED OF ANY DEBRIS OR SPOIL RESULTING FROM THIS PROJECT AT THE COMPLETION OF CONSTRUCTION.
9. ALL EQUIPMENT AND MATERIALS NOT SHOWN OR SPECIFIED ON THE PLANS OR SPECIFICATIONS, BUT REQUIRED TO COMPLETE THIS PROJECT, SHALL BE SUPPLIED BY THE CONTRACTOR AS PART OF THIS CONTRACT WORK. (NO ADDITIONAL COST TO AZGFD.)
10. WHEN GROUTING OR CASTING CONCRETE AROUND PVC PIPE, CONTRACTOR SHALL USE WATER STOPS AS RECOMMENDED BY THE MANUFACTURER.
11. ANY SURVEY MARKERS DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND AT NO ADDITIONAL COST TO AZGFD.
12. ALL EXISTING WORK OR EQUIPMENT THAT NEED TO BE REMOVED, REPLACED, RELOCATED, OR REPAIRED BECAUSE OF CONTRACTOR'S WORK WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
13. THE CONTRACTOR IS ADVISED THAT ANY DAMAGE TO EXISTING EQUIPMENT OR INFRASTRUCTURE AS A RESULT OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR IN A TIME DIRECTED BY AZGFD AT NO ADDITIONAL COST TO AZGFD.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ANY UTILITIES THAT MAY IMPACT THE WORK. THE AZGFD DOES NOT GUARANTEE ANY LOCATIONS REFERENCED.

PAVEMENT GENERAL NOTES

1. ALL GUTTER GRADES LESS THAN 0.0015 FT/FT SHALL BE STAKED ALONG THE ACTUAL GUTTER ALIGNMENT (NOT OFFSET) AND CHECKED BY AZGFD IMMEDIATELY PRIOR TO PLACEMENT OF CONCRETE.
2. ALL FRAMES, COVERS, VALVE BOXES, ETC. SHALL BE ADJUSTED BY THE CONTRACTOR TO FINISHED GRADE AFTER PLACEMENT OF ASPHALT CONCRETE SURFACE COURSE PER MAC STD DETAIL 270, 433 AND 381-1-C.
3. SAWCUT AND REMOVE ALL EXISTING ASPHALT CONCRETE PAVEMENT WHERE NOTED ON PLANS AND INCLUDE COST IN AMOUNT BID.
4. ANY SURVEY MARKERS DISTURBED OR DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND AT NO ADDITIONAL COST TO AZGFD.

BUILDING REMODELING GENERAL NOTES

1. SCHEDULE ALL WORK THROUGH THE DEVELOPMENT BRANCH. SOME CONSTRUCTION AND DEMOLITION MAY BE RESTRICTED TO WEEKENDS AND AFTER HOURS (NO ADDITIONAL PAYMENT SHALL BE MADE FOR AFTER HOURS WORK). ANY COST FOR WEEKEND OR AFTER HOURS WORK SHALL BE INCLUDED IN BID. (SEE SPECIAL PROVISIONS IN THE SPECIFICATIONS.)
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE JOB SITE TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS THAT COULD AFFECT THE INSTALLATION OF WORK SET FORTH IN THESE PLANS PRIOR TO SUBMITTING A BID. SITE VISIT WILL BE PER THE SPECIFICATIONS.
3. ALL MATERIALS REQUIRED SHALL BE NEW AND OF A GRADE AND QUALITY CONSISTENT WITH THE INTENDED USE AS APPROVED BY THE ENGINEER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ANY UTILITIES THAT MAY IMPACT THE WORK. THE AZGFD DOES NOT GUARANTEE ANY LOCATIONS REFERENCED.
5. THE CONTRACTOR IS ADVISED THAT DAMAGE TO ANY PORTION OF THIS PROJECT'S BUILDING AND SURROUNDING AREA, AS A RESULT OF THIS PROJECT, IS TO BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO AZGFD.
6. INSPECTION SHALL BE PERFORMED BY THE DEVELOPMENT BRANCH (NOTIFY 48 HOURS IN ADVANCE).
7. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY DEBRIS RESULTING FROM THE DEMOLITION AND CONSTRUCTION. AT NO TIME SHALL ANY OF THIS MATERIAL OBSTRUCT THE NORMAL OPERATION OF THE RESIDENT EMPLOYEES OR THE GENERAL PUBLIC.
8. ALL CONSTRUCTION MUST BE COORDINATED WITH AZGFD TO ENSURE AN UNINTERRUPTED FLOW OF WORK WHILE CONSTRUCTION IS UNDERWAY.



APPROVED DETECTABLE WARNING DEVICES
INSTALL PER MANUFACTURER'S SPECIFICATION
CONTRASTING COLOR SELECTED BY AZGFD

1. RAMP/DOME TILES AS MANUFACTURED BY RAMP/DOME SYSTEMS
2. CAST-IN-PLACE TACTILE WARNING PANELS AS MANUFACTURED BY MASCO
3. CAST-IN-PLACE COMPOSITE PAVER TILES AS MANUFACTURED BY ADA SOLUTIONS, INC.
4. CAST-IN-PLACE SYSTEM AS MANUFACTURED BY ARMOR-TILE TACTILE SYSTEMS

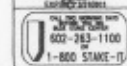
ACCESSIBLE RAMP DETAIL

ARIZONA GAME AND FISH DEPARTMENT
DEVELOPMENT BRANCH



REGION 6 (MESA)
PARKING LOT IMPROVEMENTS

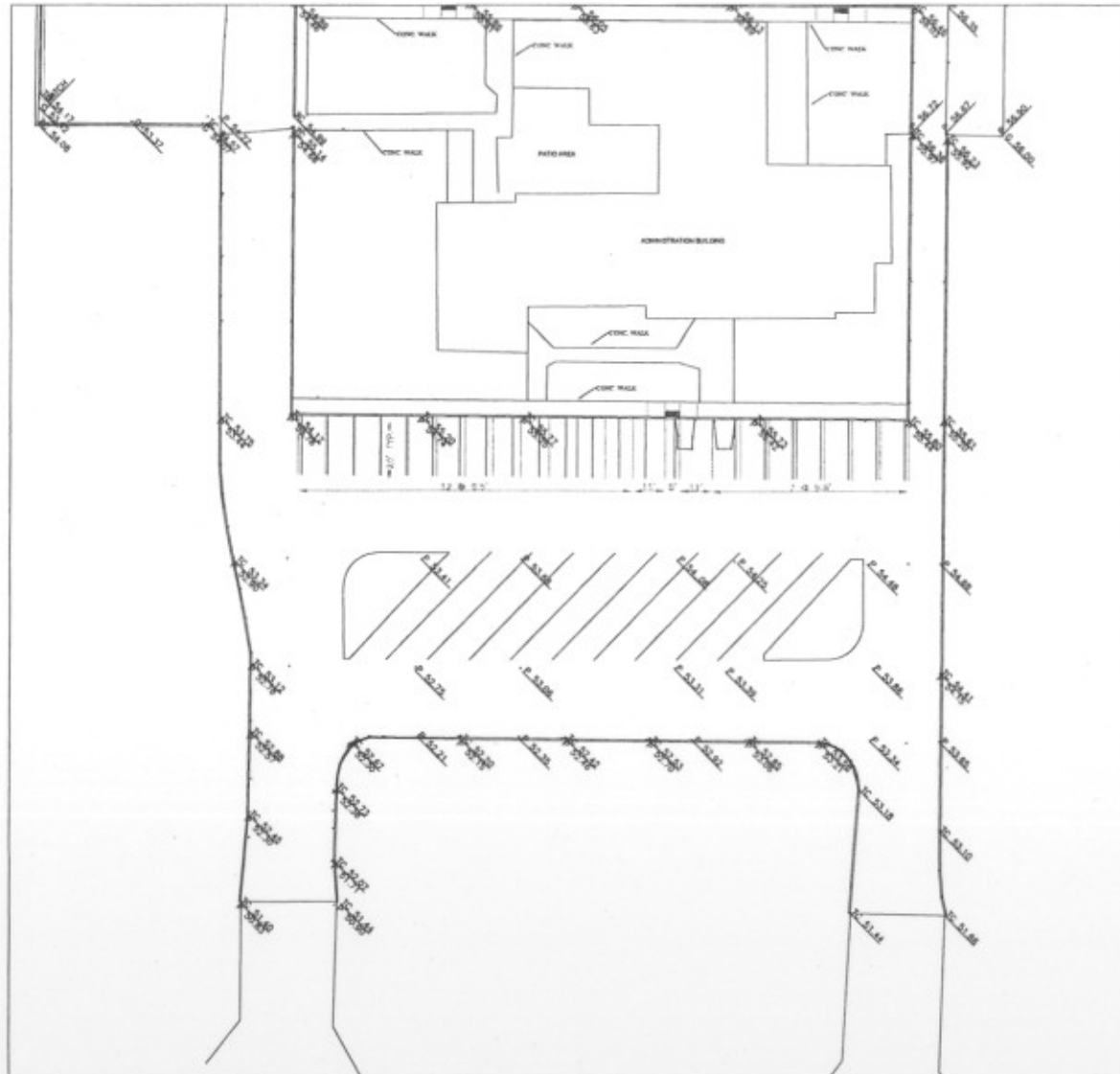
DETAIL SHEET & GENERAL NOTES



ENGINEER: T. KMETZ
APPROVED: F. BLOOM

SHEET
2 OF 4

SEE SHEET 3



SCALE: 1" = 10'



BENCHMARK:
"X" back SW northwest
corner
ELEVATION = 1455.03

O CONSTRUCTION NOTES

- 1 FURNISH AND INSTALL AC PAVEMENT 3" A-19 A.C. ON 6" ABC ON PREPARED SUBGRADE PER MAG SPEC.301, 310 & 321.
- 2 FURNISH AND INSTALL ASPHALT EMULSION SLURRY SEAL TYPE II PER SPEC 332.
- 3 MILL EXISTING A.C. PAVEMENT.
- 4 REMOVE AND REPLACE EXISTING CONCRETE WHEEL STOP PER MAG DTL 150.
- 5 FURNISH AND INSTALL CONCRETE VALEY GUTTER PER MAG DTL 240..
- 6 REMOVE AND DISPOSE OF TREE AND ROOT TO MIN. TWO FEET BELOW GRADE.
- 7

GENERAL NOTES

- 1 ALL AC PAVEMENT NOT ADJCENT TO CONCRETE SHALL HAVE A THICKENED EDGE PER MAG STL 201 TYPE "B" 9" MIN. N.P.I.

109 (8) (7)

ARIZONA GAME AND FISH DEPARTMENT
DEVELOPMENT BRANCH



REGION 6 (MESA)
PARKING LOT IMPROVEMENTS

FRONT PARKING LOT

ENGINEER: T. KMETZ
APPROVED: F. BLOOM
1-800 STAKE-IT

ENGINEER: T. KMETZ
APPROVED: F. BLOOM

SHEET
4 OF 4

Tonto Creek Fish Hatchery Effluent Improvements

Tonto Creek Fish Hatchery Effluent Improvements project will furnish and install four radial flow gravity settling tanks and associated and associated plumbing works. During certain periods of operation, the hatchery effluent has exceeded ADEQ permit limits (suspended solids) for Tonto Creek and the Department is currently operating under a temporary variance. This project will improve the effluent discharge from the hatchery and provide better downstream water quality. The new facilities will intercept the current hatchery discharge and process the flow through the radial flow gravity settler tanks. The heavier solids and other contaminants will be separated in the tanks and piped to a solids thickening structure. These denser solids can then be appropriately disposed.

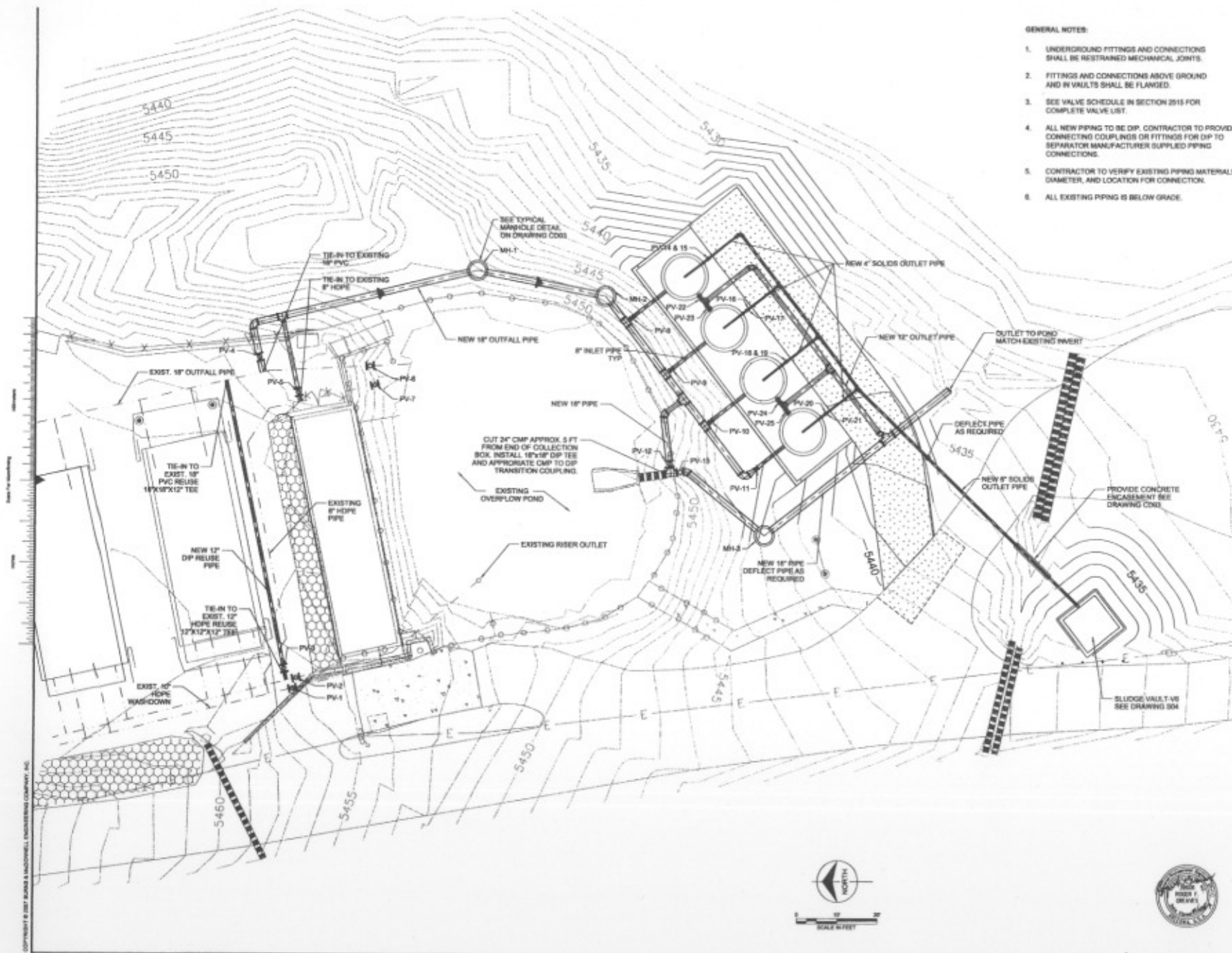
Schedule:

Advertise Project	May 2009
Bid Opening/Award	June 2009
Notice To Proceed	July 2009
Project completion	October 2009

Estimated Construction Cost: \$600,000 (See Attached)

Funding:

Capital Improvement Fund: \$150,000
Federal Funding: \$450,000



GENERAL NOTES:

1. UNDERGROUND FITTINGS AND CONNECTIONS SHALL BE RESTRAINED MECHANICAL JOINTS.
2. FITTINGS AND CONNECTIONS ABOVE GROUND AND IN VAULTS SHALL BE FLANGED.
3. SEE VALVE SCHEDULE IN SECTION 2515 FOR COMPLETE VALVE LIST.
4. ALL NEW PIPING TO BE DIP. CONTRACTOR TO PROVIDE CONNECTING COUPLINGS OR FITTINGS FOR DIP TO SEPARATOR MANUFACTURER SUPPLIED PIPING CONNECTIONS.
5. CONTRACTOR TO VERIFY EXISTING PIPING MATERIALS, DIAMETER, AND LOCATION FOR CONNECTION.
6. ALL EXISTING PIPING IS BELOW GRADE.

no.	date	by	chkd	description
5	06/10/07	RY	RG	ISSUED FOR BID



date	MARCH 21, 2007	designed	R. YABUT
checked	R. YABUT	contract	R. GREAVES



ARIZONA GAME AND FISH DEPARTMENT	
TONTA CREEK FISH HATCHERY	
EFFLUENT IMPROVEMENTS	
YARD PIPING	
project	38065
drawing	C003
sheet	0
file	38065C003.dwg



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T:\PROJECTS\38065\38065C003.dwg 10-20-2007 10:53 HOBBS

Arizona Game and Fish Department
 Tonito Creek Effluent Improvements
 Opinion of Probable Construction Cost
 Updated 8/21/07

	Item	Size	Unit	Quantity	Unit Price	Total
DIVISION 1 - GENERAL REQUIREMENTS						
Mobilization/Demobilization			LS	1	\$30,000.00	\$30,000
Section 01580 - PROJECT IDENTIFICATION AND SIGNS			LS	1	\$2,500.00	\$2,500
DIVISION 2 - SITEWORK						
SECTION 02220 - DEMOLITION	Piping		LF	50	\$100.00	\$5,000
	Concrete Channel		LS	1	\$5,000.00	\$5,000
SECTION 02300 - SITE PREPARATION AND EARTHWORK			LS	1	\$20,000.00	\$20,000
SECTION 02321 - EXCAVATION, FILLING, AND BACKFILLING FOR STRUCTURES	Existing Clarifier					
	Backfilling		CY	400	\$15.00	\$6,000
	Tank Pad					
	Excavation		CY	1700	\$10.00	\$17,000
	Backfilling		CY	400	\$15.00	\$6,000
	Sludge Vault					
	Excavation		CY	100	\$10.00	\$1,000
	Backfilling		CY	50	\$15.00	\$750
SECTION 02322 - TRENCHING AND BACKFILLING FOR UTILITIES	Trenching		LF	650	\$12.00	\$7,800
	Backfilling		LF	650	\$15.00	\$9,750
SECTION 02515 - UTILITY VALVES AND ACCESSORIES	Plug Valves	4"	EA	8	\$1,100.00	\$8,800
		8"	EA	5	\$1,700.00	\$8,500
		10"	EA	6	\$2,000.00	\$12,000
		12"	EA	4	\$2,700.00	\$10,800
		18"	EA	2	\$3,500.00	\$7,000
SECTION 02530 - GRAVITY PIPE		4"	LF	70	\$30.00	\$2,100
		6"	LF	125	\$45.00	\$5,625
		8"	LF	60	\$60.00	\$3,600
		10"	LF	21	\$75.00	\$1,575
		12"	LF	85	\$90.00	\$7,650
		18"	LF	267	\$135.00	\$36,045
SECTION 02532 - UTILITY STRUCTURES	Sludge Vault		EA	1	\$10,000.00	\$10,000
	Manholes		EA	3	\$5,000.00	\$15,000
SECTION 02702 - CRUSHED ROCK BASE COURSE			CY	100	\$20.00	\$2,000
SECTION 02746 - HOT-MIX ASPHALTIC-CONCRETE PAVEMENT			SY	300	\$15.00	\$4,500
DIVISION 3 - CONCRETE						
SECTION 03050 - CONCRETE, FORMS, AND REINFORCEMENT	Tank Pad		CY	110	\$800.00	\$88,000
DIVISION 11 - EQUIPMENT						
SECTION 11999 - PRE-MANUFACTURED RADIAL FLOW SETTLER	Equipment		EA	4	\$15,000.00	\$60,000
	Installation		EA	4	\$6,000.00	\$24,000
Sub-Total						\$417,995
Sales Tax (8%)						\$33,440
Contractor Markups (20%)						\$83,599
Contingencies (15%)						\$62,699
Total Cost						\$597,733

STATE OF ARIZONA

Joint Committee on Capital Review

STATE
SENATE

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PAULA ABOUD
AMANDA AGUIRRE
SYLVIA ALLEN
JORGE LUIS GARCIA
CHUCK GRAY
AL MELVIN

1716 WEST ADAMS
PHOENIX, ARIZONA 85007

PHONE (602) 926-5491

FAX (602) 926-5416

<http://www.azleg.gov/jlbc.htm>

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KYRSTEN SINEMA

DATE: June 10, 2009

TO: Senator Russell Pearce, Chairman
Members, Joint Committee on Capital Review

THRU: Richard Stavneak, Director

FROM: Juan Beltran, Fiscal Analyst

SUBJECT: Arizona Department of Administration – Consider Recommending FY 2010 Quarterly
Rent Payments for the Arizona Board of Osteopathic Examiners

Request

A.R.S. § 41-792.01D authorizes the Director of the Arizona Department of Administration (ADOA), on recommendation from the Joint Committee on Capital Review, to exempt an agency from paying its full state-owned space rent at the beginning of the fiscal year. On behalf of the Osteopathic Board, ADOA requests the Committee recommend allowing the Osteopathic Board to make a payment in September and December 2009 followed by a payment of the balance in January 2010 instead of 1 annual payment due by the beginning of FY 2010.

Recommendation

The JLBC Staff recommends that the Committee recommend the proposed payment plan for FY 2010.

Analysis

The Osteopathic Board rents 2,519 square feet of state-owned office space at 9535 E. Doubletree Ranch Rd. in Scottsdale. The total FY 2010 rent is \$52,900. The Board's proposal would result in 2 payments of \$13,200 in September and December 2009 followed by a payment of \$26,500 in January 2010. The agency is requesting the alternative payment plan because of cash flow issues.

These rent payments are deposited into the Capital Outlay Stabilization Fund, which helps defray building renewal expenses and ADOA operating costs.

RS/JB:sls

JANICE K. BREWER
Governor



WILLIAM BELL
Director

ARIZONA DEPARTMENT OF ADMINISTRATION

OFFICE OF THE DIRECTOR

100 N 15TH AVE, SUITE 401
PHOENIX, ARIZONA 85007
(602) 542-1500



April 28, 2009

The Honorable Russell Pearce, Chairman
Joint Committee on Capital Review
Arizona State Senate
1700 West Washington
Phoenix, Arizona 85007

Dear Senator Pearce:

The Arizona Department of Administration (ADOA) requests that the Joint Committee on Capital Review (JCCR) recommend quarterly rent payments in FY 2010 for the Arizona Board of Osteopathic Examiners in Medicine and Surgery (the Board).

The Board occupies office space in the state-owned building at 9535 E. Doubletree Ranch Road in Scottsdale. The Board has made this request for quarterly payments because of issues with cash flow.

Arizona Revised Statutes §41-792.01.D provides that the ADOA Director, on recommendation of JCCR, may authorize an exemption for periods of one year or more at a time for a state agency from the full payment account transfer requirements if the agency can demonstrate a practice of making full payment of rent on a different basis necessitated by its cash flow.

Based on the above authority, ADOA requests that JCCR recommend allowing the Board to make two quarterly payments in September and December 2009, followed by payment of the balance in January 2010, as the Board cash flow allows.

If you have any questions please contact Lynne Smith, Assistant Director, General Services Division, at (602) 542-1427.

Sincerely,

A handwritten signature in cursive script, appearing to read "W. Bell".

William Bell
Director

cc: The Honorable John Kavanagh, Vice-Chair, JCCR
Richard Stavneak, Director, JLBC Staff

Leatta McLaughlin, Principal Fiscal Analyst, JLBC Staff
Tom Manos, Deputy Chief of Staff for Finance
Eileen Klein, Director, OSPB
Marcel Benberou, Assistant Director, OSPB
Matt Gottheiner, Senior Budget Analyst, OSPB
Elaine LeTarte, Executive Director, Osteopathic Examiners
Paul Shannon, Assistant Director, ADOA
Lynne Smith, Assistant Director, ADOA
Nola Barnes, General Manager, ADOA
Barbara Pipkin, General Manager, ADOA

STATE OF ARIZONA

Joint Committee on Capital Review

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1716 WEST ADAMS
PHOENIX, ARIZONA 85007

PHONE (602) 926-5491

FAX (602) 926-5416

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DAVID SCHAPIRA
KYRSTEN SINEMA

DATE: June 15, 2009

TO: Senator Russell Pearce, Chairman
Members, Joint Committee on Capital Review

THRU: Richard Stavneak, Director

FROM: Leatta McLaughlin, Principal Fiscal Analyst

SUBJECT: Arizona Department of Administration – Review of the Department of Health Service’s
Arizona State Hospital Forensic Unit Project

Request

Pursuant to A.R.S. § 41-1252, the Arizona Department of Administration (ADOA) requests Committee review of the scope, purpose, and estimated cost of \$32.2 million for the construction of a new Forensic Unit at the Department of Health Service’s (DHS) Arizona State Hospital (ASH) in Phoenix. The Forensic Unit houses patients that have been charged with crimes and found not guilty by reason of insanity or guilty but insane. Rather than being sent to prison, these patients are sent to ASH where they receive traditional therapy and medication and may be released if they are deemed no longer a threat to themselves or those around them.

The FY 2008 Capital Outlay Bill (Laws 2007, Chapter 257) authorized ADOA to enter into a lease-purchase agreement for up to 15 years for a maximum of \$32.2 million for construction of a new Forensic Unit at ASH. Pursuant to A.R.S. § 41-791.02, the Committee favorably reviewed and approved the projects financed with Certificates of Participation (COPs) in December 2007 and this request is for review of the project specifics.

Since ADOA only submitted its request on Thursday, June 11th, there has been minimal time for staff review.

Recommendation

The Committee has at least the following 2 options:

1. A favorable review of an ADOA expenditure of \$32.2 million for the Forensic Unit project.
2. An unfavorable review.

(Continued)

Analysis

Background

The FY 2008 Capital Outlay Bill authorized ADOA to construct a new Forensic Unit at ASH in Phoenix. The unit is currently housed in Juniper Hall, which is a 101,500 square foot, single story building that is 58 years old. This building was originally designed to house geriatric patients. Areas of the building are currently not being occupied due to plumbing system failures. A re-living study was conducted for this building by an engineering firm in January 2006. The firm concluded that it is not cost-effective to extend the useful life of the existing building.

In April 2008, ADOA issued \$32.2 million in COPs for a term of 15 years at an average interest rate of 4.8%. Total interest over the 15-year period is \$12.5 million, which means total interest plus total principal is \$44.7 million. The average annual debt service payment for this issuance is approximately \$3.1 million, which begins in FY 2010. The FY 2010 General Appropriation Act bill, as passed by the House and Senate, includes this funding.

While the building has been described as being in critical need of replacement, ADOA and DHS have not been prompt in moving forward with this project. The funding was appropriated 2 years ago. ADOA claims that this project was complicated to design. ADOA did not provide JLBC Staff with any preliminary information on this project, which has limited our review.

Proposed Plan

The main entrance for ASH is currently located along the Van Buren frontage road, and an additional entrance for the Civil Unit is located off of 24th Street. At the end of June, ADOA plans on renovating the 24th Street entrance into the new secure main entrance for the entire campus so the Van Buren entrance would no longer be used. After this entrance project is completed, ADOA plans on constructing 100 new beds, which are expected to begin construction in the next couple months and will be completed by December 2010.

Up to 100 beds, which will be made up of 5-20 bed units, will be constructed. The 5 units will be made up of 1 Intensive Care Unit, 1 Step-Down Unit, and 3 Acute Care Units. This 100-bed facility will be a single-story, masonry building for acute and unstable patients.

ADOA is planning on constructing 2 more phases for this project. Phase II would consist of 60 more beds at an estimated cost of \$21.1 million. Phase III would consist of 40 more beds and the addition of 25,000 square feet for an estimated cost of \$10.5 million. However, funding has not been provided for the phase II and III projects.

CMAR

ADOA and the Construction Manager at Risk (CMAR) have completed 60% of the facility design and both the CMAR and an independent estimating firm have provided estimates of probable cost that are within the \$32.2 million budget.

In CMAR, ADOA competitively selects a General Contractor according to quality and experience. The General Contractor manages a construction project, including the associated architect and other subcontractors, from design to completion. The General Contractor chooses a qualified subcontractor for each trade based on qualifications alone or on a combination of qualifications and price.

Additionally, CMAR defines a Guaranteed Maximum Price (GMP). Usually the General Contractor must absorb almost all cost increases, except those caused by scope changes or unknown site conditions if a project comes in above the GMP. However, in this case, 1 of the 5 bed units will be deleted from the

(Continued)

project if the GMP is over the \$32.2 million budget in order to ensure that the cost per bed amount does not exceed the original estimate. The GMP has already been obtained and is within the projects' budgets.

Construction Costs

ADOA is projecting that the Forensic Unit will cost \$32.2 million, or \$423 per square foot. The total project cost includes direct construction costs, architecture and support fees, furniture and equipment costs, and contingency fees. The direct construction costs total \$26.5 million, or \$349 per square foot, which include labor, material costs, and contingency fees. This direct cost also equates to \$265,000 per bed. This includes funding for 76,058 square feet of construction. A breakdown of the costs is identified in *Table 1*.

Table 1	
Arizona Department of Administration / Department of Health Services Arizona State Hospital – Forensic Unit Costs Projections^{1/}	
	<u>Project Cost</u>
Land Acquisition	\$ 0
Professional Services	2,953,600
Construction Services (CMAR)	26,461,300
Separate Contracts	1,121,500
Project Support	509,700
Contingency	<u>1,153,900</u>
Total	\$32,200,000
^{1/} In total, construction estimates assume 76,058 square feet at an average cost of \$349 per square foot, including direct construction costs and contingency, or \$423 per square foot for the total project cost.	

ADOA contracted with an architecture that has designed similar facilities in order to determine what this project may cost. Similar projects that the architectural firm has designed had direct per bed costs of \$300,000. Since the direct per bed cost for this project is \$265,000, the current ADOA proposal appears to be reasonable.

RS/LMc:sls

JANICE K. BREWER
Governor



WILLIAM BELL
Director

ARIZONA DEPARTMENT OF ADMINISTRATION

OFFICE OF THE DIRECTOR

100 N 15TH AVE, SUITE 401
PHOENIX, ARIZONA 85007

(602) 542-1500

June 11, 2009



The Honorable Russell Pearce, Chairman
Joint Committee on Capital Review
Arizona State Senate
1700 West Washington
Phoenix, Arizona 85007

Dear Senator Pearce:

Laws 2007, Chapter 257 (FY 2008 Capitol Outlay Bill) authorized the Arizona Department of Administration (ADOA) to issue up to \$32.2 million in Certificates of Participation to construct a new Forensic Unit for the Arizona Department of Health Services at the Arizona State Hospital in Phoenix. The facility design is 60% complete and both the Construction Manager at Risk and an independent estimating firm have provided estimates of probable cost that are within the established budget. ADOA requests JCCR review in order to proceed with construction.

Additional information on the project is enclosed. If you have any questions please contact Lynne Smith, Assistant Director, General Services Division, at (602) 542-1427.

Sincerely,

A handwritten signature in cursive script, appearing to read "W. Bell".

William Bell
Director

Attachments

- c: The Honorable John Kavanagh, Vice-Chairman, JCCR
Richard Stavneak, Director, JLBC Staff
Leatta McLaughlin, Principal Fiscal Analyst, JLBC Staff
Tom Manos, Deputy Chief of Staff for Finance, Governor's Office
Eileen Klein, Director, OSPB
Marcel Benberou, Assistant Director, OSPB
Matt Gottheiner, Senior Budget Analyst, OSPB
John Cooper, Chief Executive Officer, ADHS
Donna Noriega, Chief Operating Officer, ADHS
Carlos Rodriguez, Assistant Chief Operating Officer, ADHS
Stanley Bates, Chief Security Officer, ADHS
Fernando Ortega, Administrator, ADHS
David Raber, Deputy Director of Operations, ADOA
Paul Shannon, Assistant Director, ADOA
Lynne Smith, Assistant Director, ADOA

Arizona State Hospital New Forensic Unit

Background:

Laws 2007, Chapter 257 (FY 2008 Capitol Outlay Bill) authorized the Arizona Department of Administration (ADOA) to issue up to \$32.2 million in Certificates of Participation to construct a new Forensic Unit at the Arizona State Hospital in Phoenix, for the Arizona Department of Health Services (ADHS). On April 30, 2008 financing closed and a net amount of \$32.2 million was deposited for design and construction of the project.

The ADOA State Procurement Office issued requests for qualifications for both Architectural and Construction Manager at Risk (CMAR) services and the firms of Jacobs Carter Burgess Architects / Cannon Design and Gilbane Building Company were chosen by the selection committee as the most qualified architect and CMAR respectively. ADOA established an initial budget of \$28 million for the construction phase of the project. The architect has completed the Design Development documents for Phase One (100 beds). The design is 60% complete and all major systems have been identified to a point that more accurate material quantities and pricing are possible. Both the CMAR and an independent estimating firm have provided estimates of current probable cost as indicated in the attached project budget documents. The current estimates are within the \$28 million budget established by ADOA for the construction of the buildings and \$2 million less than the Schematic Design (30%) estimate given by the CMAR earlier in the project. An independent estimate by the firm, Rider Levett Bucknall, is slightly less than the CMAR estimate but is within 4%.

Up to five 20 bed Units consisting of (1) Intensive Care Unit, (1) 20 bed Step-Down Unit and up to (3) 20 bed Acute Care Units, will be constructed as funding allows, along with a supporting Therapy Mall, Psychiatric Security Review Board building, Administration building, Gymnasium, secure court yards, and perimeter security fence. The project includes various infrastructure improvements to integrate the new unit into the campus utilities, and improvements to the 24th Street entrance to make it the new secure main entrance to the entire campus. Currently the main entrance is located along the Van Buren frontage and an additional entrance is provided off of 24th Street for access to the Civil Unit. The control of access and movement on the site is compromised by the two entrances. At the completion of construction, the Van Buren entrance will be closed and all traffic will enter from 24th Street. All of the above work will be included in the scope for the development of a Guaranteed Maximum Price (GMP) by the CMAR. If the GMP is over the allocated budget for construction, one 20 bed unit will be deleted from the project. The current schedule is to complete construction of the Phase One facility by December 2010.

Information:

The current Forensic program is housed in the Juniper and Wick buildings which were built in 1951 and originally designed to house geriatric patients and as such are not well suited to the current use as a forensic unit. The forensic patients require a high degree of security for their safety as well as that of staff and the public. The current buildings have large areas of glass that pose a hazard for escape and harm to patients and staff. Patient areas have drywall partitions that are easily damaged, exposing metal framing for the crafting of weapons. The buildings are generally in poor condition and most of the equipment is original to the buildings. Most problematic is the condition of the plumbing; many areas of the building cannot be occupied due to failures in plumbing systems.

ADHS identified a target facility size of 200 beds as ideal for current needs and future growth. From the onset of the design process it was determined the budget of \$32.2 million would only support the construction of an 80 - 100 bed facility; therefore, the project is designed as a 100 bed facility capable of future expansion in phases to a total of 200 beds.

The architect, in collaboration with ADHS and ADOA, designed a prototypical 20-bed unit as the standard module for current construction and future expansion. This module was determined to be the ideal size for patient management and is designed for high security, flexibility (within units and between units); adaptability (for change of use) and expandability (ease of growth without negative impact on existing operations). The Phase One, 100 bed facility, is a single story masonry building designed for the most acute and most unstable patients. The design includes features to enhance the safety and security of patients and staff through out the facility with appropriate support and treatment spaces.

The total Phase One project contains 76, 058 gross square feet for an average cost of \$348.80 per square feet.

Request:

ADOA requests review by the JCCR for the Forensic Unit as to the scope, purpose and probable cost, in order to proceed with construction on schedule.

ARIZONA DEPARTMENT of ADMINISTRATION		CONSTRUCTION SERVICES	
PROJECT: ASH-NEW FORENSIC HOSPITAL PROJECT NUMBER: 8325 PROJECT MANAGER: Joe Grajeda GENERAL MANAGER: Roger Berna		CG-08-10	DATE PREPARED: August 2, 2007 REVISED: May 27, 2009
DESCRIPTION		AMOUNT	
FUNDING SOURCES: COB, LAWS 2007, CH 257, HB 2783 COP's	INDEX: 54375	32,200,000	
TOTAL FUNDING		\$32,200,000	
PROJECT COST:	COST CODE	ESTIMATE	PROJECTED COST AT COMPLETION
<u>Land Acquisition Costs:</u>			
Subtotal		\$0	\$0
<u>Professional Services: JACOBS CARTER BURGE</u>	CF45521		
1 A/E Fees Phase I	01364	2,699,363	120,000
2 A/E Reimbursables Phase I	01365	161,962	10,000
3 A/E Fees Phase II	CO#1		2,576,414
4 A/E Reimbursables Phase II	CO#1		133,855
5 Oversight	01362	269,936	
6 Design PSRB, Relocate Entrance, Surv	DCN #1 CO #2		113,342
Subtotal		\$3,131,261	\$2,953,611
<u>Construction Services (CM@R)</u>			
Gilbane Building Company	01700	28,000,000	26,176,420
Phase I Project Definition	CF45524		32,260
Phase II Pre-construction	AMEND. # 1, CO#1		240,652
Ground Penetrating Radar	need to issue amndmt		11,950
Subtotal		\$28,000,000	\$26,461,282
<u>Separate Contracts:</u>			
1. Asbestos (NESHAP Permit)	02110	750,000	0
2. FFE	12000	2,250,000	500,000
3. Daniels Moving (Storage Boxes)	CF47209		297
4. LSW Plant Capacity Review	CF47474		4,080
5. Commissioning Concepts	CF47821		89,836
6. Pegasus (Blue staking)	CF47725		2,080
7. EMC Asbestos Inspection	CF48005		900
8. Sun Devil Fire Equip/ FH flow test	CF48190		350
9. APS Feeders / transformer	wait for quote		180,000
10. Phoenix Fire Marshal Permit	Est.		50,000
11. Az Dept of Health Services Licensure	Est.		4,000
12. Materials Testing	Est.		100,000
13. AzNet			60,000
14. Qwest			30,000
15. Black Box	Est.		100,000
16. ADEQ Permits (if needed)			
Subtotal		\$3,000,000	\$1,121,543
<u>Project Support:</u>			
1. ADOA Salaries	01200	250,000	410,000
2. ADOA Expenses	01313	10,000	10,000
3. Insurance Arch+CM@R x .0034	01005	18,738	89,221
4. Tribune DP RFQ	CF43307 7/27/07		129
5. Tribune RFQ CMAR	CF44070 10/24/07		88
6. Security Title Agency	2CF45021		250
Subtotal		\$278,738	\$509,689
<u>Contingency Allowance:</u>			
	01600	3,200,000	1,153,875
Subtotal		\$3,200,000	\$1,153,875
<u>Previous/Future Projects:</u>			
Subtotal		\$0	\$0
TOTAL PROJECT COST		\$37,609,999	\$32,200,000
Funds Remaining/ (Additional Funds Required)		(5,409,999)	1

NOTES:

STATE OF ARIZONA

Joint Committee on Capital Review

STATE
SENATE

RUSSELL K. PEARCE
CHAIRMAN 2009
PAULA ABOUD
AMANDA AGUIRRE
SYLVIA ALLEN
JORGE LUIS GARCIA
CHUCK GRAY
AL MELVIN

1716 WEST ADAMS
PHOENIX, ARIZONA 85007

PHONE (602) 926-5491

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<http://www.azleg.gov/jlbc.htm>

HOUSE OF
REPRESENTATIVES

JOHN KAVANAGH
CHAIRMAN 2010
RICH CRANDALL
DAVID LUJAN
JOHN MCCOMISH
NANCY McLAIN
DAVID SCHAPIRA
KYRSTEN SINEMA

DATE: June 15, 2009

TO: Senator Russell Pearce, Chairman
Members, Joint Committee on Capital Review

THRU: Richard Stavneak, Director

FROM: Leatta McLaughlin, Principal Fiscal Analyst
Dan Hunting, Fiscal Analyst

SUBJECT: Arizona Department of Administration – Report on FY 2009 Building Renewal Projects

Request

A.R.S. § 41-1252 requires Committee review of expenditure plans for building renewal monies prior to expenditure. The Arizona Department of Administration (ADOA) has submitted reports for \$217,300 that they have already spent on 4 projects. While ADOA has stated that they are seeking Committee review as required by law, the requests were submitted after the projects began. The projects included \$88,000 for elevator repairs at the Supreme Court building, \$61,800 for fire alarm system repairs at the Senate building, \$38,000 for elevator repairs at 1300 West Washington, and \$29,500 on a broken water line at 1400 West Washington.

Recommendation

Since work has been completed or is already underway, the Chairman has decided not to place the 4 projects on the agenda for review. He recommends, however, that the Committee clarify its policy on emergency spending for FY 2009 and FY 2010.

Of the remaining FY 2008 and FY 2009 building renewal monies and any potential FY 2010 appropriation, the policy would be as follows:

1. ADOA notify the Chairman and JLBC Staff that they plan to spend less than \$25,000 on an emergency project. ADOA can proceed without Committee review.
2. If the emergency project is \$25,000 or greater, ADOA will request JCCR review.
3. The Chairman can allow ADOA to move forward with an emergency project of greater than \$25,000 without Committee review.

(Continued)

4. The Chairman will notify ADOA if he does not agree that the project is an emergency and will request that ADOA not proceed with the project.

An “emergency” project is defined as unforeseen, critical in nature, and of immediate time sensitivity.

Analysis

Taking into account recent special session revisions, ADOA has \$899,300 to spend on FY 2009 building renewal projects. Of that amount, the Committee favorably reviewed \$735,000 for 2 projects at the November 13, 2008 meeting. One of the items favorably reviewed at the November meeting was subsequently reimbursed \$300,000 by Risk Management. ADOA decided to pursue these 4 projects on their own without Committee review because they felt these projects were emergencies. The Committee’s prior review, however, had not included any contingency provision for emergencies. The Committee last had an emergency contingency policy in FY 2008, and it applied only to that year.

The department notified JLBC on the following dates about the Supreme Court elevator project (December 8), the broken water line project (February 12), the Senate fire alarm system project (May 8), and the 1300 West Washington elevator repair (May 12).

In addition, ADOA may have spent over \$70,000 on emergency projects, which each cost under \$25,000, but they have not submitted information on these projects.

Supreme Court Elevator Project

One of the 2 passenger elevators at the Supreme Court became inoperable in the middle of November 2008. In addition, the control system for both elevators has become outdated. Full modernization of the system is estimated to cost \$300,000. ADOA expended \$88,000 on repairs that will permit both elevators to function until funding becomes available for complete repairs to the system.

The vendor that currently holds the elevator maintenance contract for the Supreme Court submitted a proposal that would replace the controller, travel cable, hoist-way wiring, and other components for \$88,000, which is the amount that ADOA allocated for this project.

Senate Fire Alarm Project

The fire alarm system in the Senate building at 1700 West Washington was experiencing numerous problems. The original installer has been out of business for many years, and replacement parts were not available. ADOA contracted with a private vendor to repair the fire system panel in order to eliminate recurring trouble calls and false alarms. This repair should extend the useful life of the system by 10 years, and the cost is \$61,800.

1300 West Washington Elevator Project

ADOA was notified in January that 1 of the 2 elevators at 1300 West Washington has been slowly sinking and has leveling problems. Upon further examination, ADOA found that there was a leak in the elevator cylinder, which caused the elevator to drop about 6 feet in a 24-hour test period. Since January, only the remaining elevator has been used and is now showing signs of failure. Both elevators were repaired at a cost of \$38,000.

Water Line Project

In December 2008, water began leaking through the exterior wall at 1400 West Washington due to a ruptured main fire line. The water flooded storage units, a telecommunications room, a mechanical room, and an office in the Office of Administrative Hearings. These repairs were completed with \$29,500.

JANICE K. BREWER
Governor

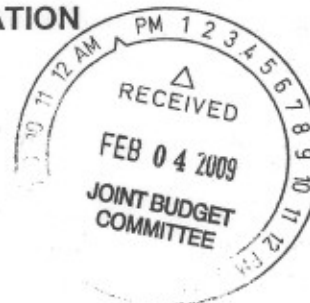


WILLIAM BELL
Director

ARIZONA DEPARTMENT OF ADMINISTRATION

OFFICE OF THE DIRECTOR

100 N 15TH AVE, SUITE 401
PHOENIX, ARIZONA 85007
(602) 542-1500



January 28, 2009

The Honorable Russell Pearce, Chairman
Joint Committee on Capital Review
Arizona State Senate
1700 West Washington
Phoenix, Arizona 85007

Dear Senator Pearce:

The Arizona Department of Administration (ADOA) requests that the Joint Committee on Capital Review (JCCR) review the allocation of \$88,000 for an emergency elevator repair at the Supreme Court from the FY 2009 building renewal appropriation to ADOA from the Capital Outlay Stabilization Fund.

The Supreme Court building has two passenger elevators. Over the past few years, the Supreme Court has placed 42 service calls for these two passenger elevators. The elevator control system is obsolete and replacement parts are no longer available. One of the passenger elevators is now inoperable. The one remaining passenger elevator is operating twice as much, and the probability of its failure increases daily. Failure of the second elevator would leave the Supreme Court without passenger or freight elevator services, put the building out of compliance with ADA guidelines, increase the costs of repair, and have a detrimental impact on the daily operations at the Supreme Court. In addition to the 525 employees who work at the Supreme Court, more than 20,000 individuals visit the Supreme Court annually. These passenger elevators are the only two that are accessible to the public and are essential to maintain the daily functions of the Supreme Court. In addition to the two passenger elevators, the Supreme Court has three private justices-only Otis LRV4 elevators. These smaller private elevators do not access all the floors, are not located conveniently for public access, and are only available to the justices due to security concerns.

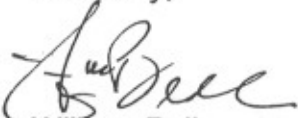
The Supreme Court building received two proposals to fix the elevators and both recommended immediate modernization of the elevator system at an estimated cost of \$300,000. Since FY 2007, the Supreme Court annually has requested building renewal

funding to rehabilitate and modernize the passenger elevators. The \$88,000 that ADOA has allocated for emergency repairs will not address all of the elevator problems; however, it will permit both passenger elevators to remain functional until additional funding becomes available.

The vendor that currently holds the elevator maintenance contract for the Supreme Court has submitted a repair proposal to remove the existing elevator controls, leveling system, limit switches, hoist-way wiring, and travel cable. The vendor will furnish and install a new Motion Control microprocessor controller (Model HMC-PHC) with solid-state motor starter and a new tape leveling system and limits. The vendor will replace all the existing wiring and travel cable with new. The vendor also will furnish and install a new car-top inspection station with light and GFI, and a hoist-way, pit-stop switch.

If you have any questions regarding the ADOA plan for the allocation of FY 2009 Building Renewal, please contact me or Lynne Smith, Assistant Director, ADOA General Services Division, at (602) 542-1427.

Sincerely,



William Bell
Director

cc: The Honorable John Kavanagh, Vice-Chair, JCCR
Richard Stavneak, Director, JLBC Staff
Leatta McLaughlin, Principal Fiscal Analyst, JLBC Staff
Eileen Klein, Director, OSPB
Marcel Benberou, Assistant Director, OSPB
Matt Gottheiner, Senior Budget Analyst, OSPB
Paul Shannon, Assistant Director, ADOA
Lynne Smith, Assistant Director, ADOA
Nola Barnes, General Manager, ADOA

JANICE K. BREWER
Governor



WILLIAM BELL
Director

ARIZONA DEPARTMENT OF ADMINISTRATION

OFFICE OF THE DIRECTOR

100 N 15TH AVE, SUITE 401
PHOENIX, ARIZONA 85007
(602) 542-1500

June 10, 2009



The Honorable Russell Pearce, Chairman
Joint Committee on Capital Review
Arizona State Senate
1700 West Washington
Phoenix, Arizona 85007

Dear Senator Pearce:

The Arizona Department of Administration (ADOA) requests that the Joint Committee on Capital Review (JCCR) review the allocation of \$61,800 from the building renewal appropriation for emergency repairs to the Senate fire alarm system at 1700 West Washington. ADOA originally proposed to replace the Senate fire alarm system in FY 2011 for an estimated \$244,500 as part of the ADOA FY 2009 Building System Capital Improvement Plan (page 12).

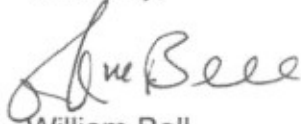
Working fire alarms are mandatory in office buildings. The Thorn Auto-Call fire alarm system in the Senate building is obsolete. Thorn Auto-Call has been out of business for many years; the company no longer manufactures system parts, and system support is not available through any other source. Simplex, a firm that ADOA has utilized to complete past repairs to the system, has stated it can significantly repair the panel to eliminate recurring trouble calls and false alarms. The Simplex repair will reuse existing wire, boxes, conduit and raceways, all of which will minimize costs and extend the life of the proprietary system by 10 years, thereby eliminating the need for a complete replacement in FY 2011.

Deferred repair of the fire alarm system carries a significant risk of liability to the State if alarms fail to operate correctly in the event of a fire. There currently is a fire-watch in place to provide temporary safety measures.

Russell Pearce
June 10, 2009
Page 2

If you have any questions regarding ADOA's plan for the allocation of its building renewal appropriation, please contact Lynne Smith, Assistant Director, ADOA General Services Division, at (602) 542-1427.

Sincerely,

A handwritten signature in dark ink, appearing to read "William Bell". The signature is fluid and cursive, with the first name "William" and last name "Bell" clearly distinguishable.

William Bell
Director

c: The Honorable John Kavanagh, Vice-Chair, JCCR
 Richard Stavneak, Director, JLBC Staff
 Leatta McLaughlin, Principal Fiscal Analyst, JLBC Staff
 Tom Manos, Deputy Chief of Staff for Finance, Governor's Office
 Eileen Klein, Director, OSPB
 Marcel Benberou, Assistant Director, OSPB
 Matt Gottheiner, Senior Budget Analyst, OSPB
 Joe Kubacki, Sergeant at Arms, Senate
 David Raber, Deputy Director for Operations, ADOA
 Paul Shannon, Assistant Director, ADOA
 Lynne Smith, Assistant Director, ADOA

JANICE K. BREWER
Governor



WILLIAM BELL
Director

ARIZONA DEPARTMENT OF ADMINISTRATION

OFFICE OF THE DIRECTOR

100 N 15TH AVE, SUITE 401
PHOENIX, ARIZONA 85007
(602) 542-1500



June 9, 2009

The Honorable Russell Pearce, Chairman
Joint Committee on Capital Review
Arizona State Senate
1700 West Washington
Phoenix, Arizona 85007

Dear Senator Pearce:

The Arizona Department of Administration (ADOA) requests that the Joint Committee on Capital Review (JCCR) review the allocation of \$38,000 from the building renewal appropriation for emergency repair of one of two elevators at 1300 West Washington.

The Arizona Corporation Commission and State Parks occupy 1300 West Washington. This building is serviced by two Dover hydraulic passenger elevators with in-ground cylinders. In January 2009, tenants notified ADOA that one of the passenger elevators was slowly sinking and had leveling problems. Further examination revealed that the elevator had a leak in the body of the cylinder and that moisture in the ground was creating further damage to the cylinders. This caused the elevator to drop approximately six feet in a 24-hour test period. The cylinders for both elevators are original to the 1979 building and have outlived their life expectancy.

ThyssenKrupp Elevator Company and the State Elevator Inspector both have deemed the failed elevator to be "out of service." Since the elevator failure in January, the one working passenger elevator has been overworked and is starting to show signs of failure. Failure of the remaining elevator would leave tenants and customers without passenger or freight elevator services, would expose the State to liability for civil claims related to Title I and Title II ADA accessibility, would increase repair costs, and would have detrimental impacts on Corporation Commission and State Parks operations.

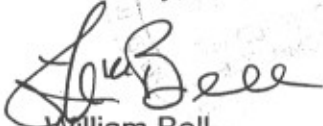
Although the \$38,000 allocation will not solve all of the problems associated with the aged and decrepit elevator system, the emergency repair will allow both passenger elevators to

Russell Pearce
June 9, 2009
Page 2

remain functional for a time. Renovation of the elevators will require additional funding in future years.

If you have any questions regarding ADOA's plan for the allocation of building renewal, please contact Lynne Smith, Assistant Director, ADOA General Services Division, at (602) 542-1427.

Sincerely,



William Bell
Director

c: The Honorable John Kavanagh, Vice-Chair, JCCR
Tom Manos, Deputy Chief of Staff for Finance, Governor's Office
Richard Stavneak, Director, JLBC Staff
Leatta McLaughlin, Principal Fiscal Analyst, JLBC Staff
Eileen Klein, Director, OSPB
Marcel Benberou, Assistant Director, OSPB
Matt Gottheiner, Senior Budget Analyst, OSPB
David Raber, Deputy Director for Operations, ADOA
Paul Shannon, Assistant Director, ADOA
Lynne Smith, Assistant Director, ADOA
Nola Barnes, General Manager, ADOA

Janet Napolitano
Governor



William Bell
Director

ARIZONA DEPARTMENT OF ADMINISTRATION
GENERAL SERVICES DIVISION • 100 NORTH 15TH AVENUE, SUITE 202
PHOENIX, ARIZONA 85007
(602) 542-1427



January 14, 2009

The Honorable Russell Pearce, Chairman
Joint Committee on Capital Review
Arizona State Senate
1700 West Washington
Phoenix, Arizona 85007

Dear Senator Pearce:

The Arizona Department of Administration (ADOA) requests that the Joint Committee on Capital Review (JCCR) review the allocation of \$29,500 from the FY 2009 building renewal appropriation for emergency repairs to a ruptured water line at 1400 West Washington.

Last month, water began leaking through the exterior wall at 1400 West Washington due to a rupture in the main fire line. The water rose through the sidewalk and ground, flooded into several storage units, a telecommunication room, the mechanical room, and an office in the Office of Administrative Hearings. If ADOA had not remediated the situation quickly, the mechanical room containing two air handlers would have presented several fire and life safety issues. Pictures are attached for your review.

If you have any questions or would like further information, please contact Lynne Smith, Assistant Director, ADOA General Services Division, at (602) 542-1701.

Sincerely,

A handwritten signature in dark ink, appearing to read "W. Bell".

William Bell
Director

Enclosure

The Honorable Russell Pearce, Chairman
JCCR
January 14, 2009
Page 2 of 2

- c: The Honorable John Kavanagh, Vice-Chairman, JCCR
Richard Stavneak, Director, JLBC Staff
Leatta McLaughlin, Fiscal Analyst, JLBC Staff
James Apperson, Director, OSPB
Marcel Benberou, Assistant Director, OSPB
Matt Gottheiner, Senior Budget Analyst, OSPB
Scott Smith, Deputy Director, ADOA
Paul Shannon, Assistant Director, ADOA
Lynne Smith, Assistant Director, ADOA
Nola Barnes, General Manager, ADOA
Barbara Pipkin, General Manager, ADOA